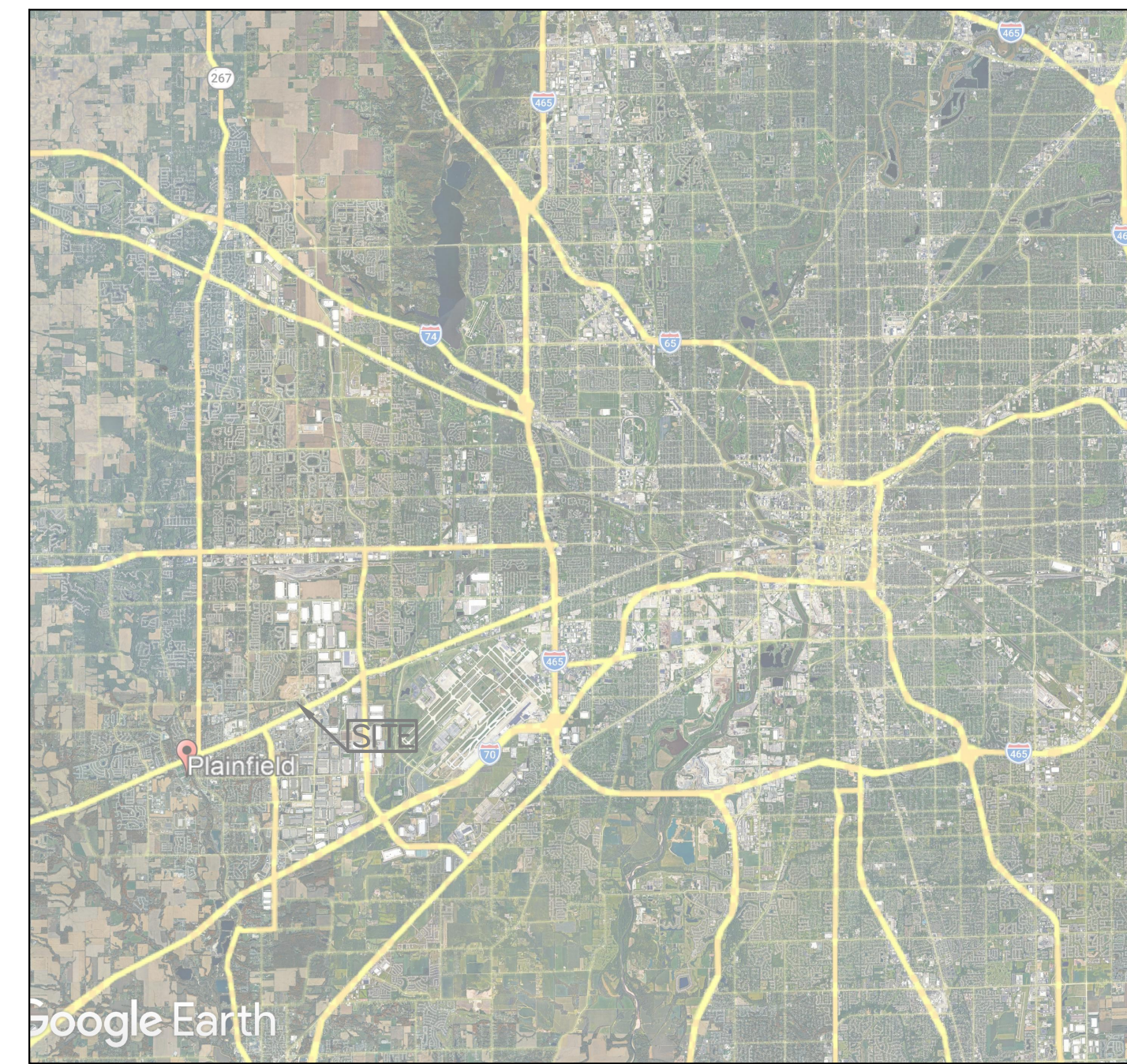


REZONING SUBMITTAL  
 JONA TOWNHOMES  
 11211 TOWNSHIP LINE ROAD  
 PLAINFIELD, INDIANA



AREA MAP  
 NOT TO SCALE



LOCATION MAP  
 NOT TO SCALE

LEGAL DESCRIPTIONS  
 PER TITLE COMMITMENT

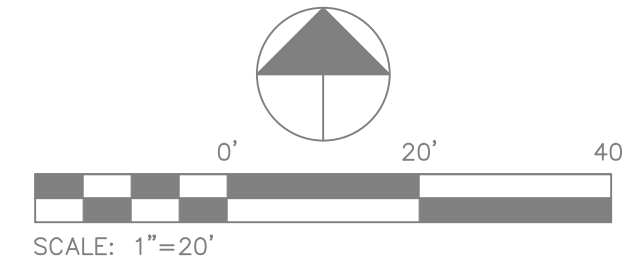
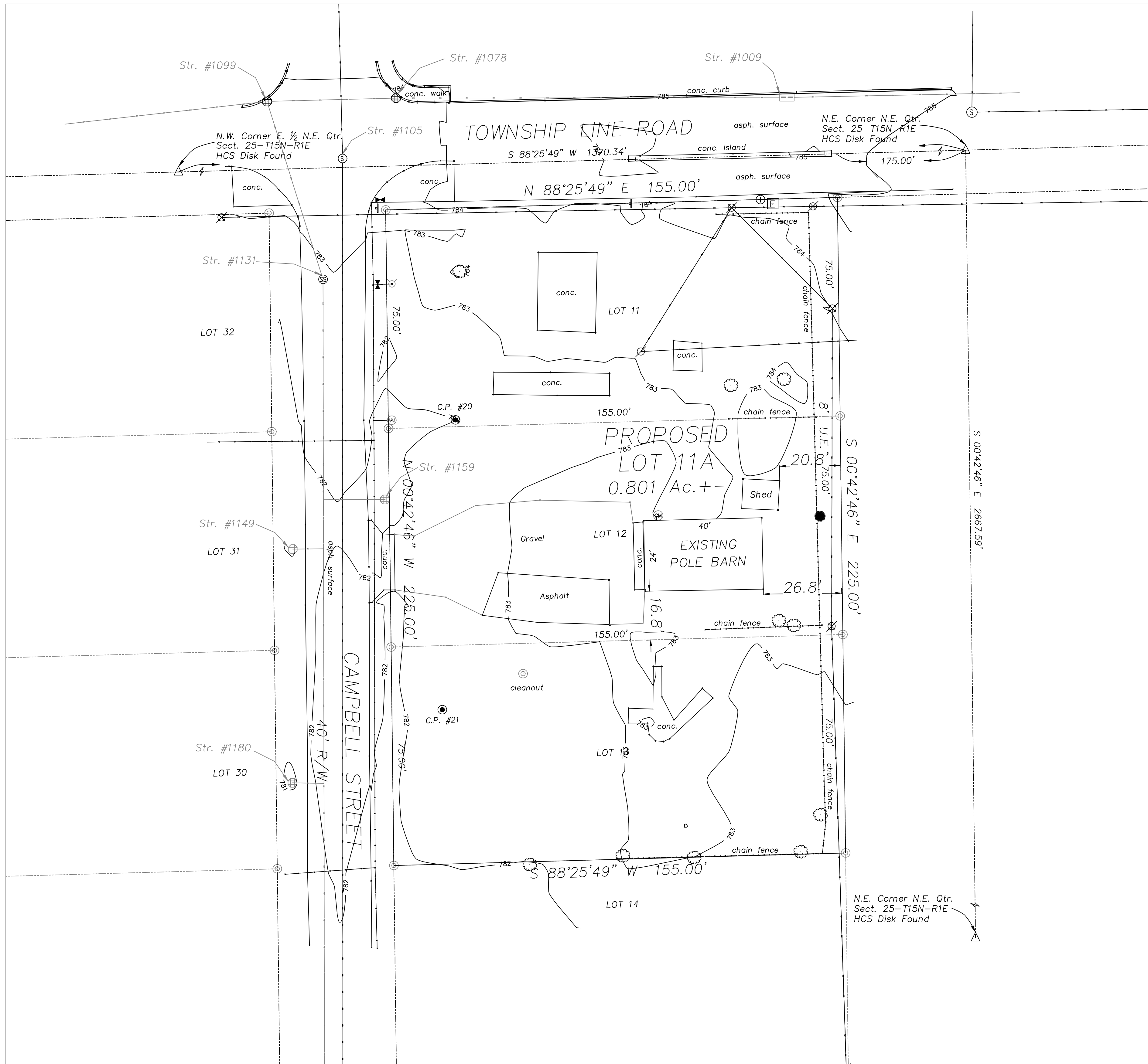
PARCEL 1

Lots 11,12, 13 in Maple Grove Subdivision to the Town of Plainfield

OWNER:	SUZANNE & SAMUEL SHIPLEY ET AL 3425 S CAMPBELL PLAINFIELD, IN 46168
OWNER/DEVELOPER :	PAM ALBERTSON 8585 HICKORY HILL TRAIL MOORESVILLE, IN 46158 765-913-9012
ENGINEER :	ANDREW GERDOM PE, LS, LEED AP GERDOM ENGINEERING LLC 13520 SHAKAMAC DR. CARMEL, IN 46032 317-407-5337

INDEX	
DESCRIPTION	SHEET No.
TITLE SHEET	C0.1
EXISTING CONDITIONS	C1.0
PROPOSED LAYOUT & UTILITIES	C2.0
PROPOSED GRADING	C3.0
PROPOSED BUILDING ELEVATION CONCEPT	SD
PROPOSED PHOTOMETRIC PLAN	PHOTO

\* REV PER IRC COMMENTS 4-6-26



**STRUCTURE DATA TABLE**

STR. No.	STRUCTURE TYPE	TOP OF CASTING ELEV.	PIPE INVERT DATA	PIPE INVERT DATA
1009	CURB INLET	784.01	18" RCP E. = 780.51	18" RCP W. = 779.46
1078	FLAT GRATE INLET	783.31	24" RCP E. = 774.66	24" RCP W. = 774.56
1099	FLAT GRATE INLET	783.36	24" RCP S. = 774.16	24" RCP E. = 774.26
1105	SANITARY M.H.	783.58	12" PVC S. = 773.68	12" PVC N. = 773.73
1131	STORM M.H.	782.75	24" RCP N. = 774.25	24" RCP S. = 774.20
1149	BEEHIVE INLET	780.69	12" PVC E. = 778.09	
1159	BEEHIVE INLET	781.22	12" PVC E. = 779.02	4" CPP N. = 779.42
1180	BEEHIVE INLET	780.58	12" PVC E. = 777.68	
1389	SANITARY M.H.	781.39	12" PVC N. = 771.49	12" PVC S. = 771.39
1390				

**NOTICE TO CONTRACTORS**  
 THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES HAVE NOT BEEN LOCATED AS PART OF THIS PROJECT. CONTRACTORS AND USERS OF THESE PLANS ARE TO LOCATE ALL UTILITIES ON THE SITE AND IDENTIFY POTENTIAL CONFLICTS PRIOR TO CONSTRUCTION, GRADING, OR FILL OPERATIONS.  
 CALL TOLL FREE FOR UTILITY LOCATIONS  
 "811" OR 1-800-382-5544  
 - INDIANA UNDERGROUND -  
 SURVEY PERFORMED BY: RECOMMENDED LAND SURVEYING

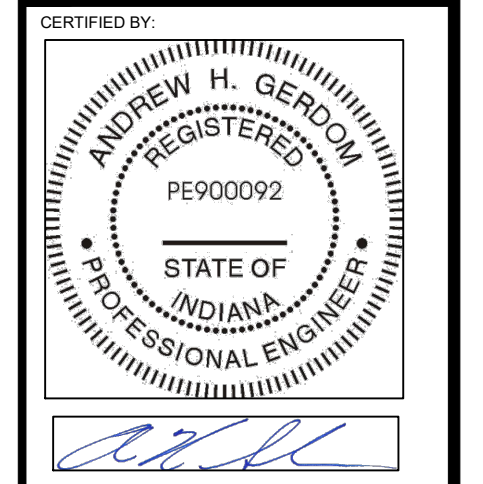
13520 Shakamat Dr.  
 Carmel, IN 46032  
 317-407-5537  
 andrewgerdom@yahoo.com

**Gerdom**  
 Engineering

(1)
(2)
(3)
(4)
(5)
(6)
(7)
(8)
(9)
(10)
(11)
(12)

DRAWING REVISIONS

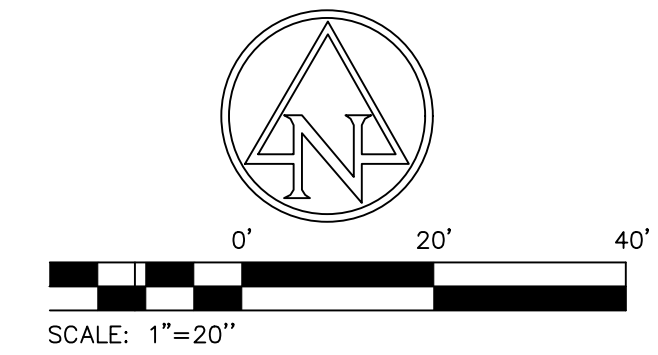
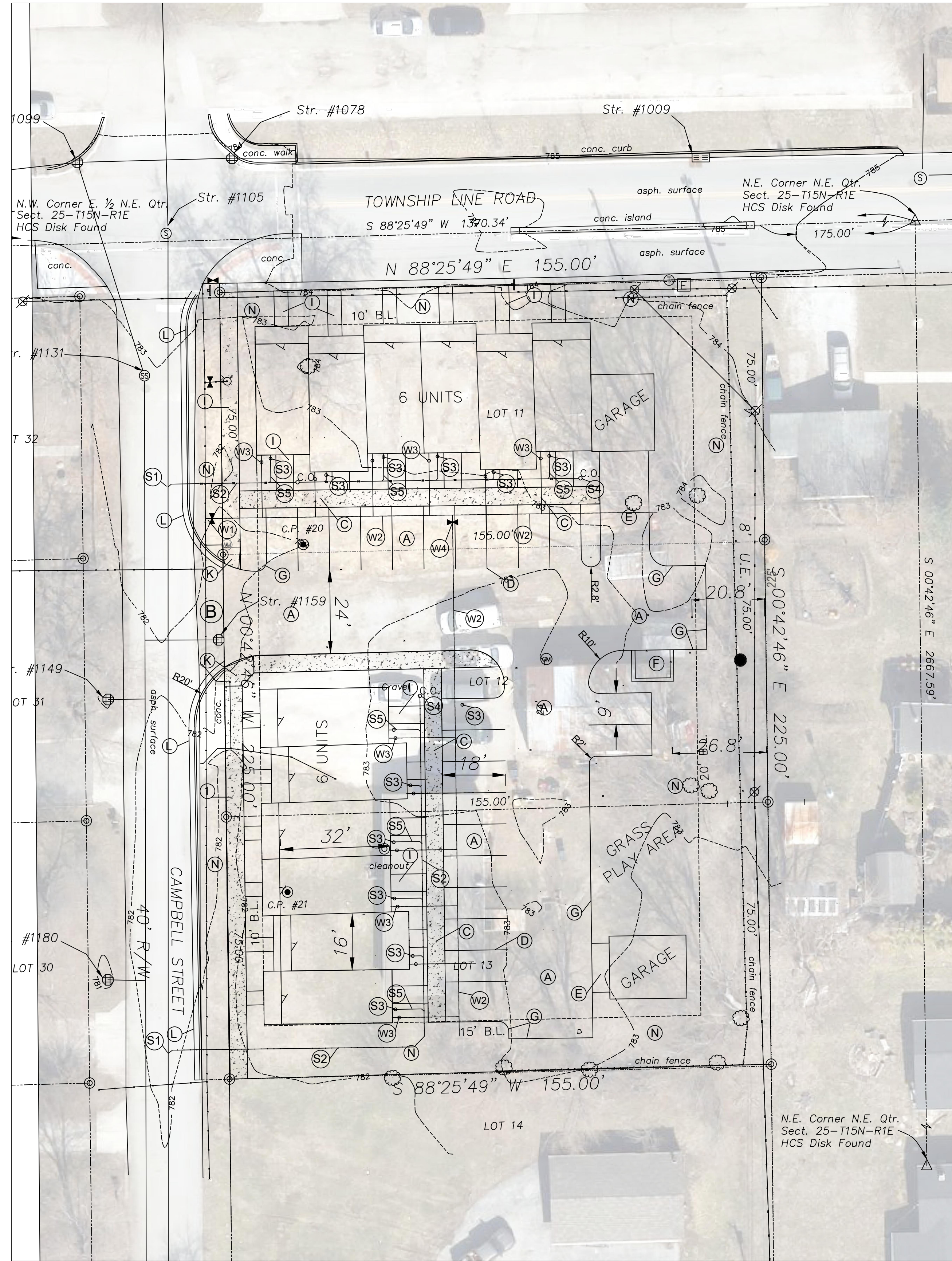
**JONA TOWNHOUSES**  
**11211 TOWNSHIP LINE ROAD**  
**PLAINFIELD, INDIANA**



DRAWN BY: AHG  
 CHECK BY: AHG  
 DATE: 4-25-2026  
 COMMISSION NO.:

**EXISTING**  
**CONDITIONS**

**C1.0**



**LEGEND**

- B.L. Building Setback / Parking Setback
- (A) 1.0" HMA Surface Type A, 9.5mm on 4.0" HMA Base, Type A, 25mm on 6" Comp Agg #53 on INDOT Sugrade Treatment Type 1A
- (B) Commercial Drive (See Town Spec)
- (C) Monolithic Curb & Walk (See Detail Sheet)
- (D) 4" White Painted Parking Strip
- (E) Conc Driveway - 4" Conc (INDOT Spec) on 6" #53 Comp Agg (INDOT SPEC) on Comp Subgrade
- (F) Dumpster Pad w/ Masonry Enclosure (see Detail Sheet)
- (G) Conc Straight Curb (See Detail Sheet)
- (H) 6" Rip Rap 12" Depth on Non-woven Filter Fabric (all pipe & ditch outlets)
- (I) 5' Conc Sidewalk (See Town Spec)
- (J) Blue ADA Striping (Refer to Site Details)
- (K) ADA Sidewalk Ramp
- (L) 2' Conc Curb & Gutter (See Town Spec)
- (M) Landscape Bed
- (N) Finish Grade, Seed, Straw
- (O) 6" Shadow Box Fence (see Detail Sheet)
- (P) 4" Depth River Gravel (2") on Non-woven Filter Fabric
- (S1) Connect to Existing Sanitary Line (See Town Spec) Verify Invert in Field
- (S2) 6-IN SDR-35 Sanitary Sewer Line @ 1.0% min. Maintain 4" cover over pipe.
- (S3) Proposed 4" Cleanout (see Town detail)
- (S4) Proposed 6" Cleanout (see Town detail)
- (S5) 4" SDR35 San Sewer Line @ 1.5% min
- (S6) Proposed 4" Cleanout (brass cap in pavement)
- (S7) Connect to building system (see arch plans)
- (W1) Connect with Tapping Sleeve & Gate Valve
- (W2) 2" PVC Water Line
- (W3) 1" Water Meter with 3/4" Water Service Line (Per Utility Spec)
- (W4) Gate Valve with Valve Box

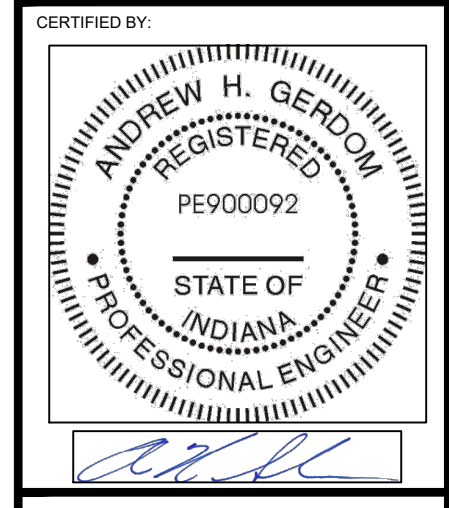
**General Site Notes**

1. Any discrepancy in the plans shall be immediately reported to the Engineer for review.
2. All work to conform to State and local regulations as appropriate.
3. All dimensions are to edge of pavement (EOP) or face of curb, unless noted otherwise.
4. All dimensions are to face of brick or facing material, where applicable.
5. All dimensions are parallel with or perpendicular to base lines, property lines or building lines unless noted otherwise.
6. Contractor shall verify all dimensions in the field prior to start construction the contractor shall be responsible for all field dimensions. If any discrepancies are found in these plans from actual field conditions, the contractor shall notify the engineer immediately.
7. Contractor responsible for verification of all utilities and elevations prior to construction. Contractor to notify engineer immediately if any discrepancy is discovered. Any damage to existing facilities will be correct and paid by the contractor.
8. Contractor shall provide smooth transitions from new areas to existing features as necessary.
9. All excavated areas shall be seeded after finish grading or left undisturbed for more than 7 days unless otherwise noted. All new seeded areas shall have a minimum of 4" of top soil.
10. Contractor shall resurface or reconstruct to at least original conditions all areas where the existing pavement or lawn is damaged during construction from work performed or traffic by contractors, subcontractors or suppliers after construction work is complete.
11. All utility trenches under and within 5 feet of pavement shall be completely backfilled with granular material.
12. All sidewalks shall comply with ADA standards, with a maximum cross slope of 1/4 FT. & maximum linear slope of 1:20.
13. The contractor shall protect and not destroy the property corner monuments during construction. If a corner monument is moved or damaged, Contractor shall immediately notify the Engineer or Surveyor of record.
14. Concrete joints to be provided in accordance with ACI guidelines.
15. Horizontal layout plan for construction staking to be provided by the Contractor prior to construction.
16. All roadway markings to be thermoplastic marking tape.
17. Utility crossings under public roadways to be bored
18. All water & sewer to be installed per current Utility Group Standards
19. Rip Rap all end sections
20. Slopes over 3:1 slope shall be blanketed with North American Green SC150 blankets with approved Seed Mix.

(1) Rev per Town Spec 4.1.55  
 (2)  
 (3)  
 (4)  
 (5)  
 (6)  
 (7)  
 (8)  
 (9)  
 (10)  
 (11)  
 (12)

**DRAWING REVISIONS**

**STERRETT DEVELOPMENT PLAN**  
**11211 TOWNSHIP LINE ROAD**  
**PLAINFIELD, INDIANA**



DRAWN BY : AHG  
 CHECK BY : AHG  
 DATE : 3-15-2026  
 COMMISSION NO. :

**LAYOUT & UTILITY**

**C2.0**



13520 Shakemac Dr.  
 Carmel, IN 46032  
 317-407-5337  
 andrewgerdom@yahoo.com  
**Gerdum Engineering**



Building Elevation  
**1** Front/West  
 1/8" = 1'-0"

Exterior Material Review		
FACADE POINTS	REQUIRED	SHOWN
FRONT (PRIMARY)	600	800
RIGHT (PRIMARY)	600	800
REAR (PRIMARY)	600	800
LEFT (PRIMARY)	600	800

Exterior Wall Material Takeoff	
Area	Material
902 SF	EXISTING BRICK
323 SF	PAINTED SMOOTH HARDIE PANEL WITH APPLIED BATTENS
861 SF	PAINTED SMOOTH HARDIE SIDING
2517 SF	PAINTED SMOOTH HARDIE SIDING



Building Elevation  
**2 North**  
 1/8" = 1'-0"



Building Elevation  
**1 South**  
 1/8" = 1'-0"

Exterior Material Review		
FACADE POINTS	REQUIRED	SHOWN
FRONT (PRIMARY)	600	800
RIGHT (PRIMARY)	600	800
REAR (PRIMARY)	600	800
LEFT (PRIMARY)	600	800

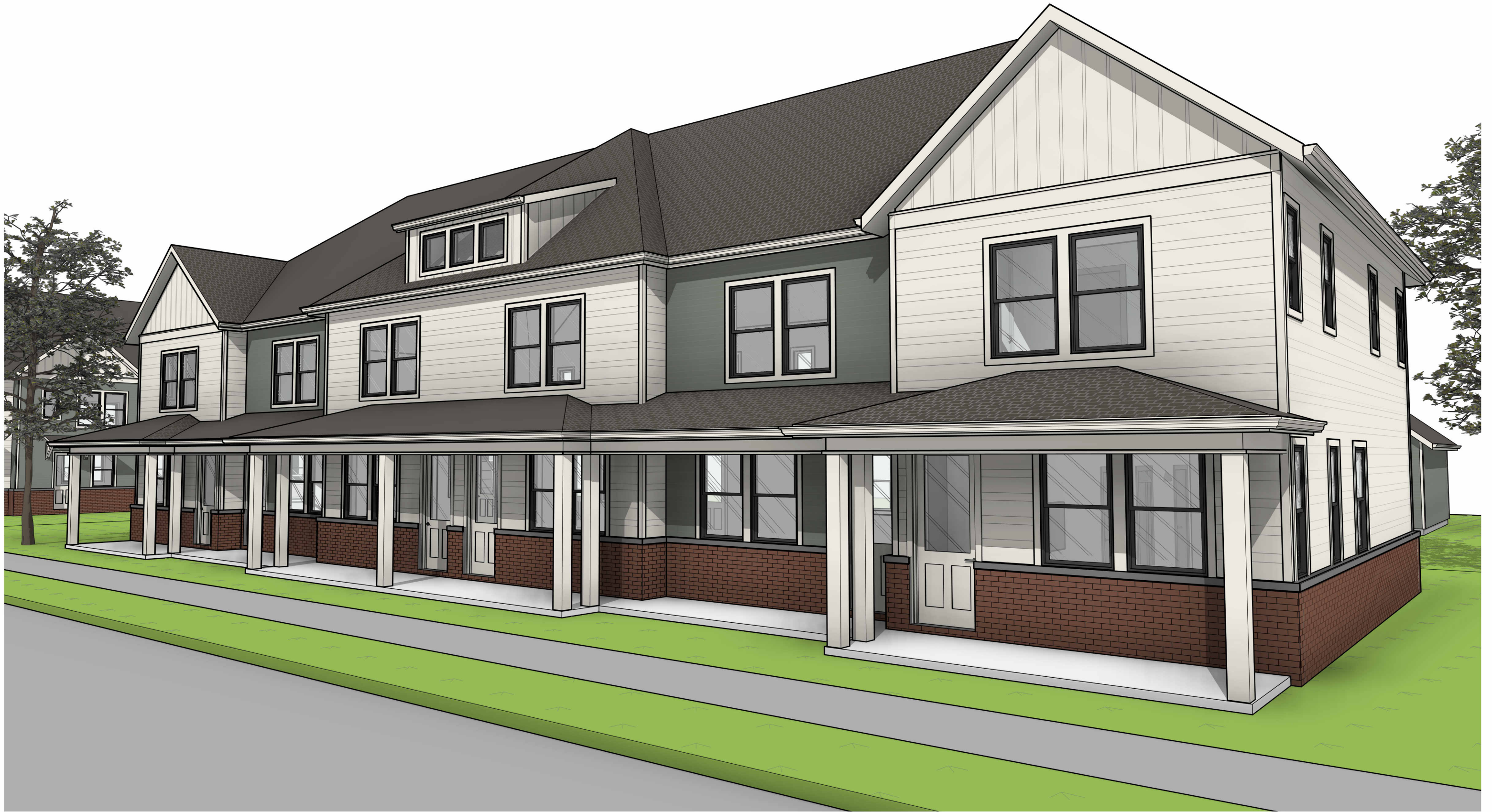
Exterior Wall Material Takeoff	
Area	Material
902 SF	EXISTING BRICK
323 SF	PAINTED SMOOTH HARDIE PANEL WITH APPLIED BATTENS
861 SF	PAINTED SMOOTH HARDIE SIDING
2517 SF	PAINTED SMOOTH HARDIE SIDING

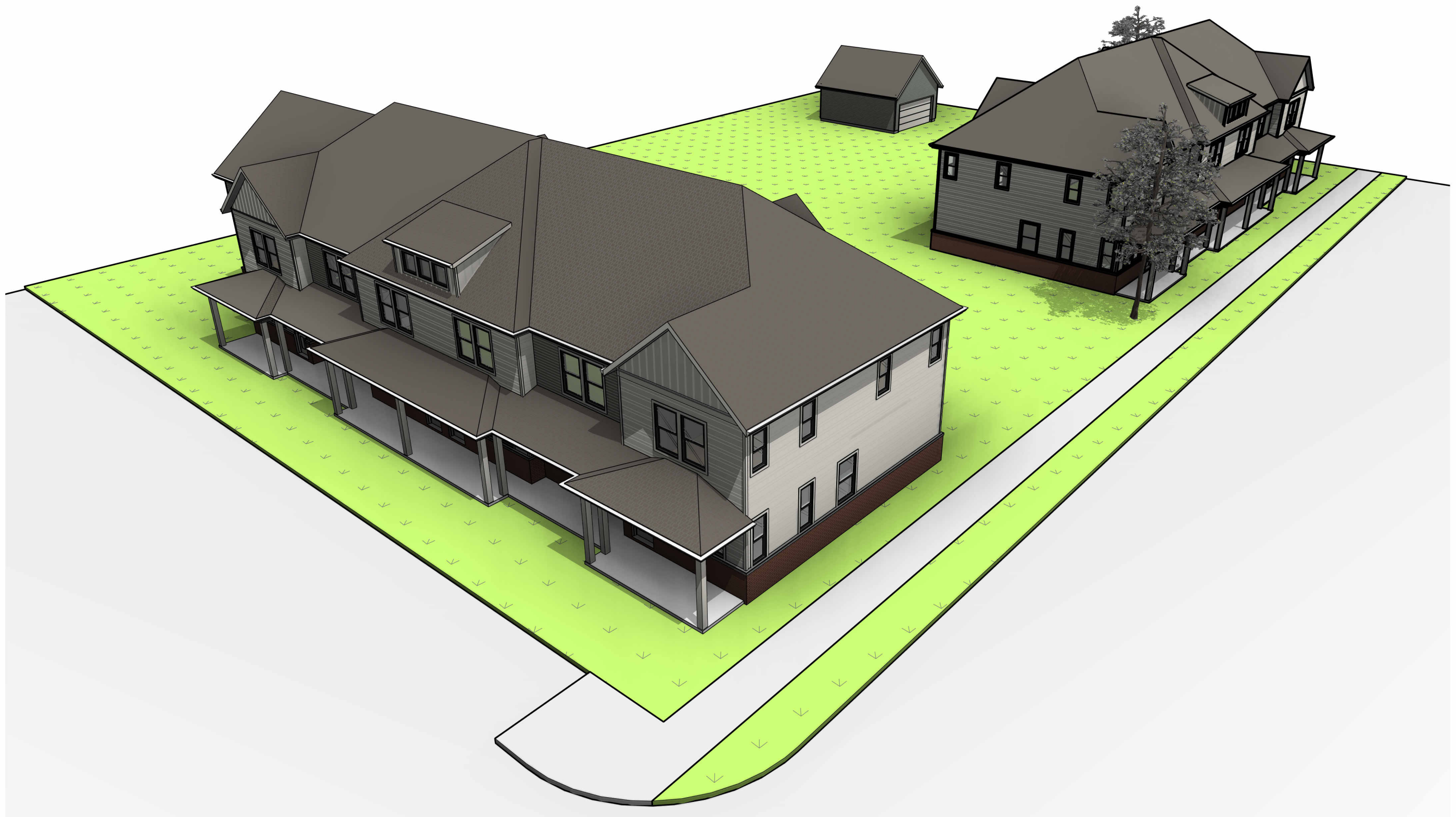


Building Elevation  
**1** Rear  
 1/8" = 1'-0"

Exterior Material Review		
FACADE POINTS	REQUIRED	SHOWN
FRONT (PRIMARY)	600	800
RIGHT (PRIMARY)	600	800
REAR (PRIMARY)	600	800
LEFT (PRIMARY)	600	800

Exterior Wall Material Takeoff	
Area	Material
902 SF	EXISTING BRICK
323 SF	PAINTED SMOOTH HARDIE PANEL WITH APPLIED BATTENS
861 SF	PAINTED SMOOTH HARDIE SIDING
2517 SF	PAINTED SMOOTH HARDIE SIDING





3D View

**1** Development Perspective



Building Elevation  
**1** Front/North  
 1/8" = 1'-0"

Exterior Material Review		
FACADE POINTS	REQUIRED	SHOWN
FRONT (PRIMARY)	600	800
RIGHT (PRIMARY)	600	800
REAR (PRIMARY)	600	800
LEFT (PRIMARY)	600	800

Exterior Wall Material Takeoff	
Area	Material
989 SF	EXISTING BRICK
446 SF	PAINTED SMOOTH HARDIE PANEL WITH APPLIED BATTENS
1704 SF	PAINTED SMOOTH HARDIE SIDING
2188 SF	PAINTED SMOOTH HARDIE SIDING



Building Elevation  
**2 East**  
 1/8" = 1'-0"



Building Elevation  
**1 West**  
 1/8" = 1'-0"

Exterior Material Review		
FACADE POINTS	REQUIRED	SHOWN
FRONT (PRIMARY)	600	800
RIGHT (PRIMARY)	600	800
REAR (PRIMARY)	600	800
LEFT (PRIMARY)	600	800

Exterior Wall Material Takeoff	
Area	Material
989 SF	EXISTING BRICK
446 SF	PAINTED SMOOTH HARDIE PANEL WITH APPLIED BATTENS
1704 SF	PAINTED SMOOTH HARDIE SIDING
2188 SF	PAINTED SMOOTH HARDIE SIDING



Building Elevation  
**1** **Rear/South**  
 1/8" = 1'-0"

Exterior Material Review		
FACADE POINTS	REQUIRED	SHOWN
FRONT (PRIMARY)	600	800
RIGHT (PRIMARY)	600	800
REAR (PRIMARY)	600	800
LEFT (PRIMARY)	600	800

Exterior Wall Material Takeoff	
Area	Material
989 SF	EXISTING BRICK
446 SF	PAINTED SMOOTH HARDIE PANEL WITH APPLIED BATTENS
1704 SF	PAINTED SMOOTH HARDIE SIDING
2188 SF	PAINTED SMOOTH HARDIE SIDING



3D View

**1** Perspective

**WOVE**  
ARCHITECTURE + DESIGN

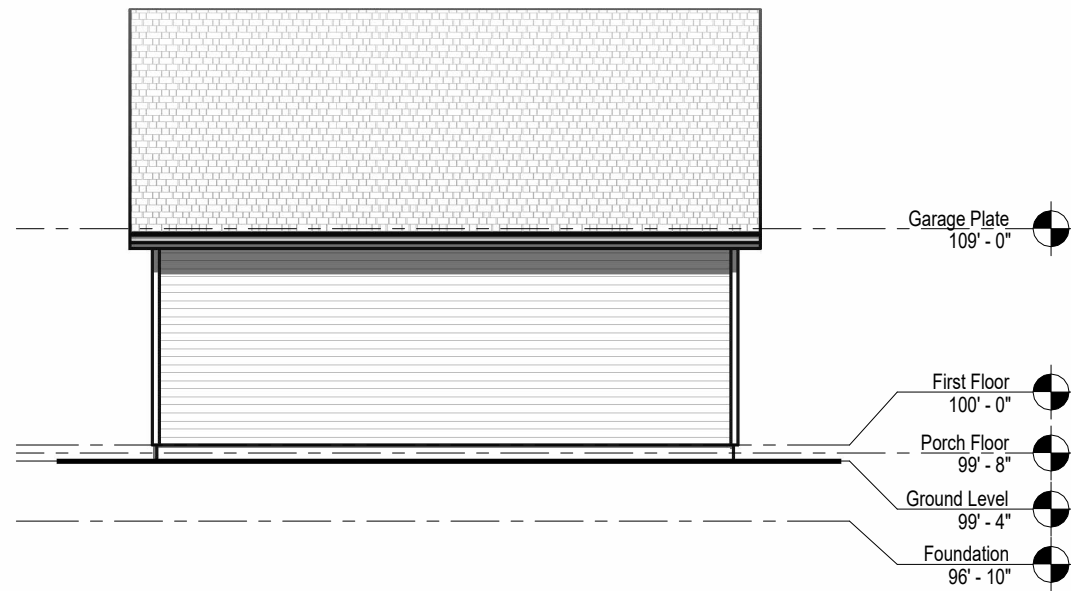
**Plainfield Townhomes - North Building**

11211 Township Line Road, Plainfield

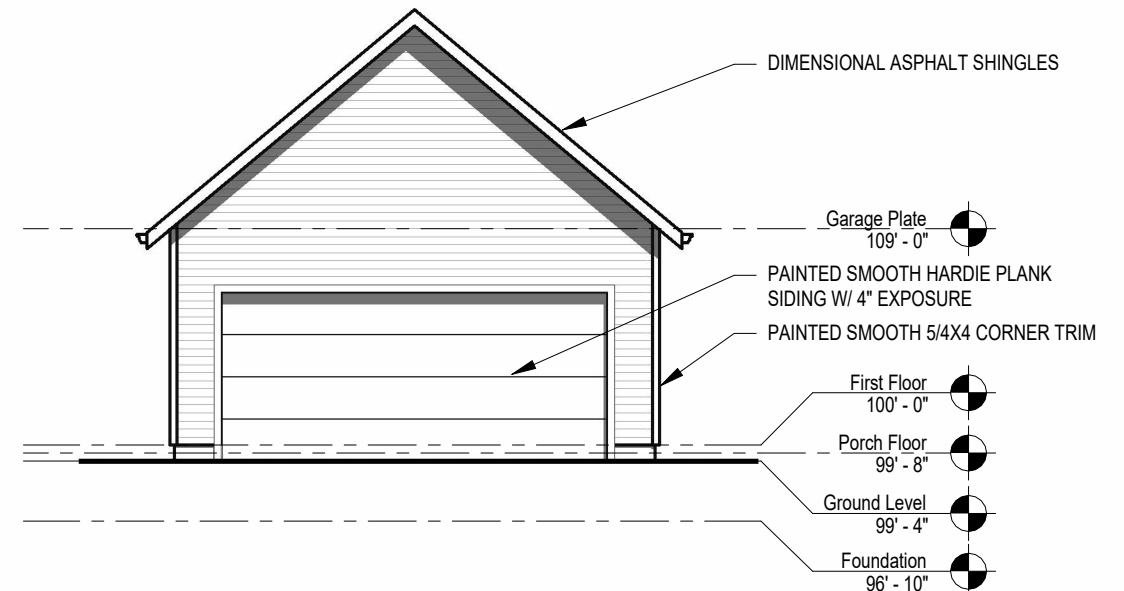
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**SD211**

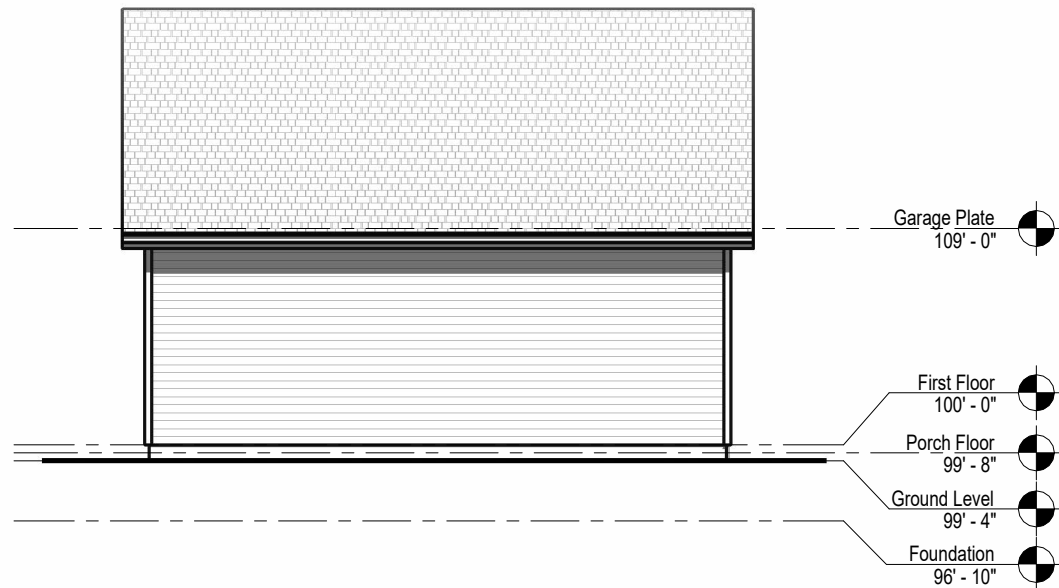
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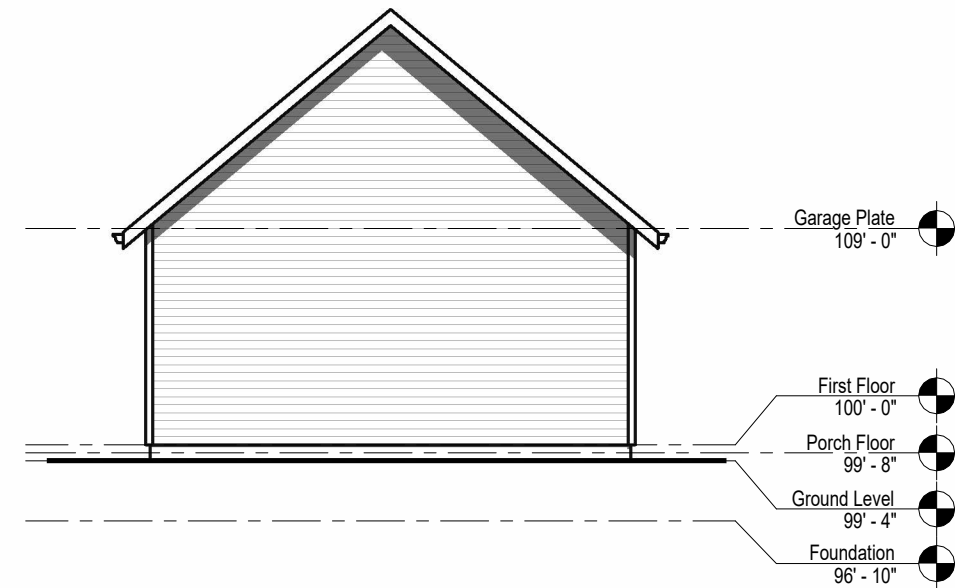
Building Elevation  
**2 Garage South**  
 1/8" = 1'-0"



Building Elevation  
**1 Garage Front/West**  
 1/8" = 1'-0"



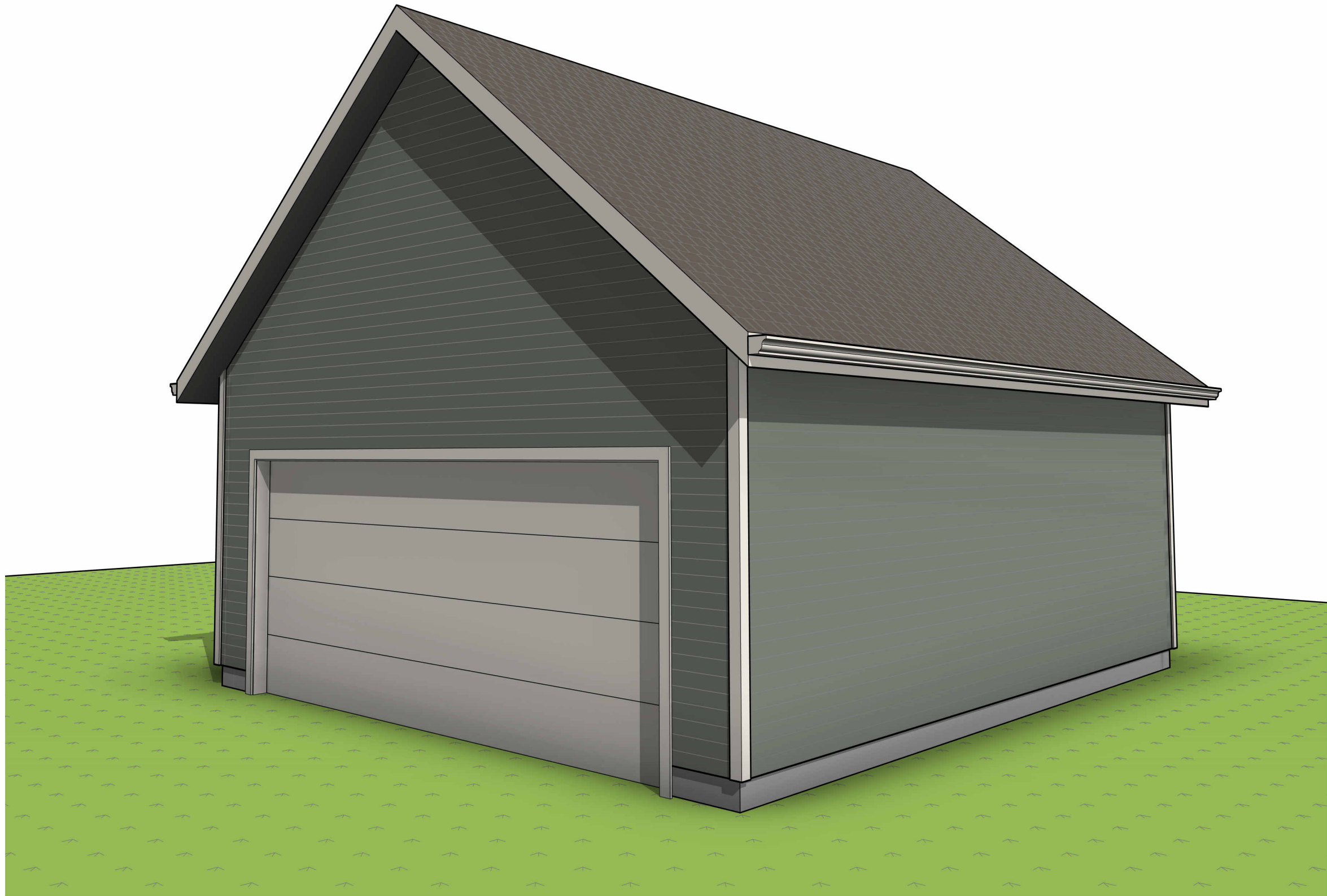
Building Elevation  
**4 Garage North**  
 1/8" = 1'-0"



Building Elevation  
**3 Garage Rear**  
 1/8" = 1'-0"

Exterior Material Review		
FACADE POINTS	REQUIRED	SHOWN
FRONT (PRIMARY)	600	800
RIGHT (PRIMARY)	600	800
REAR (PRIMARY)	600	800
LEFT (PRIMARY)	600	800

Exterior Wall Material Takeoff	
Area	Material
851 SF	PAINTED SMOOTH HARDIE SIDING



3D View  
**1** Perspective

