

Date Signed: 04/29/2021

CLIENT

**OHANA ALLIANCE GROUP, INC.**

9105 BRUCEVILLE RD.  
SUITE 6A  
ELK GROVE,  
CA 95758

PROJECT

**HERITAGE RV STORAGE**

975 HWY 99 WEST  
CORNING, CA 96021

SHEET TITLE

**SITE PLAN**

REV.	DATE	COMMENT
	04/30/21	1st CITY SUBMITTAL

PROJECT MANAGER: EL/SH

DRAWN BY: SH

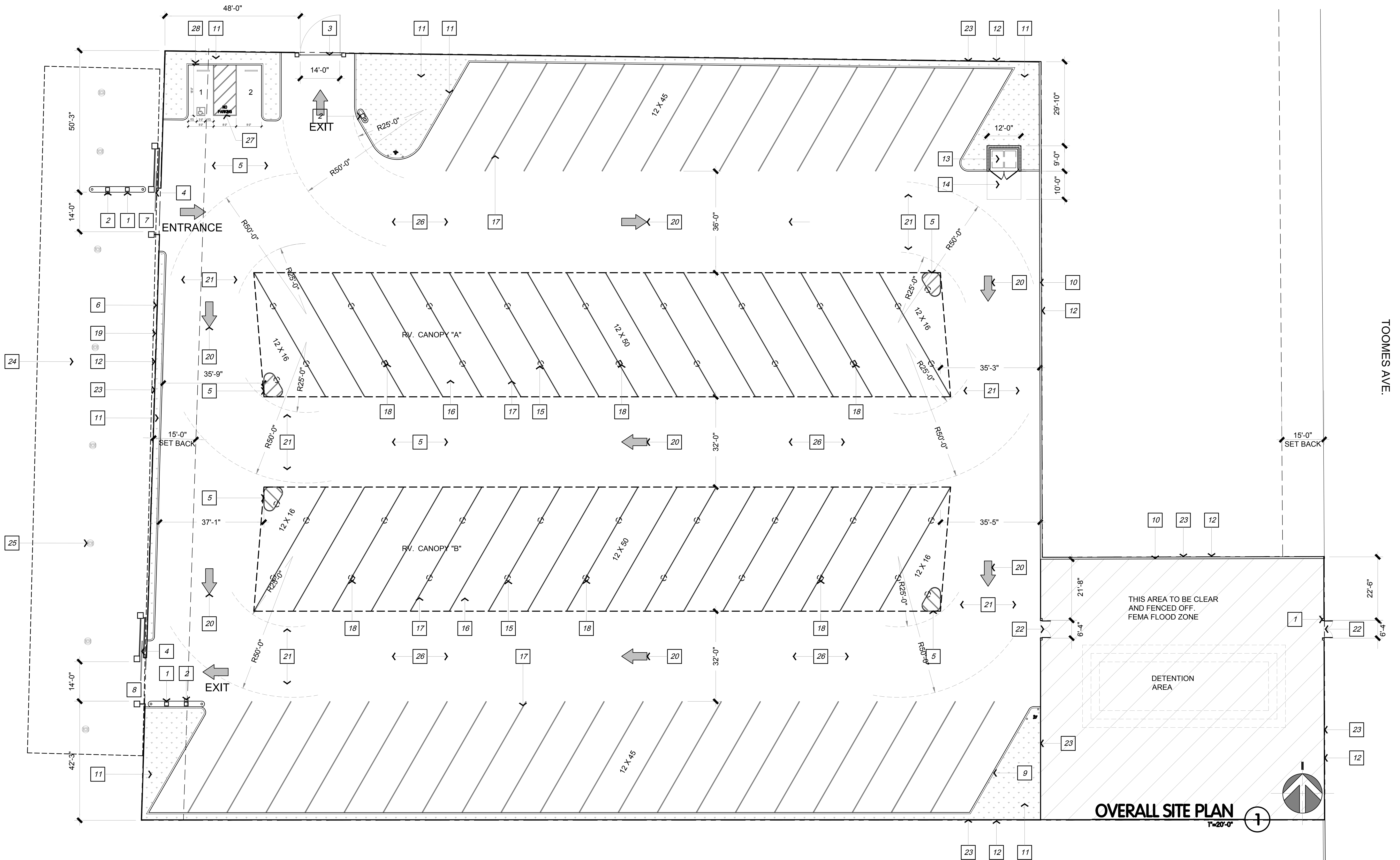
DATE: 04/30/2021

JOB NUMBER: 21-126

FILE NAME: 21126A1.2-Site Plan

SHEET NUMBER:

**A1.2**



**GENERAL NOTES:**

- CONTRACTOR TO VERIFY ALL DETAILS, DIMENSIONS, AND FIELD CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.
- WHERE ARCHITECTURAL SPECIFICATIONS REGARDING STRENGTH OF MATERIALS AND STRUCTURAL SPECS ARE NOT IN AGREEMENT, THE STRUCTURAL SPECIFICATIONS WILL APPLY.
- HEIGHT OF TOP OF WALL, ROOF AND PARAPET SHOWN ON ELEV. ARE APPROX., TAKEN FROM THE BUILDING FINISH FLOOR, EXACT DIM. TO BE DETERMINED PER MANUFACTURER'S REQ. AND STANDARD DETAILS.
- ALL NOTES, DIM., DETAIL REFERENCES AND INFO. SHOWN ON THIS SHEET ARE REPEATING AND TYP. FOR ALL FLOOR PLANS AND ELEVATIONS U.N.O.
- DIMENSIONS ARE TO FACE OF C.M.U. AND/OR TO THE FACE OF METAL STUD OR CONCRETE, UNLESS NOTED OTHERWISE.
- VERIFY GRADES @ BUILDING LINE WITH CIVIL ENGINEERING DRAWINGS.
- DO NOT SCALE THE DWGS. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN THE PLANS IMMEDIATELY BEFORE PROCEEDING.

**KEY NOTES**

1 KNOX-LOCKS DEVICES FOR EMERGENCY PERSONNEL ACCESS	15 RV. CANOPY COLUMN. SEE SHEET S2.1 AND S4.1
2 ENTRY / EXIT KEY PAD. SEE DETAIL #13 / A7.2	16 RV. CANOPY. SEE SHEET A1.2, A2.1, A2.2, S2.1 AND S4.1
3 SWING GATE, EMERGENCY EXIT ONLY	17 RV. PARKING SPACE STRIPING
4 SLIDING METAL GATE, 14'-0" WIDTH. SEE DETAIL #11 / A7.2 (DEFERRED SUBMITTAL)	18 FIRE EXTINGUISHER
5 CONCRETE CURB AT HARDSCAPE. SEE DETAIL #5 / A7.2	19 NO TRESPASSING SIGN
6 PARKING ENTRANCE SIGN. SEE DETAIL #3 / A7.1	20 THERMOPLASTIC DIRECTION ARROWS. SEE DETAIL #4 / A7.2
7 RV. PARKING STORAGE ENTRANCE	21 THERMOPLASTIC STOP LEGEND WITH BAR
8 RV. PARKING STORAGE EXIT	22 6'-0" WIDE MAIN GATE FOR HOSE ACCESS TO THE EXISTING HYDRANT
9 CONCRETE CURB AT LANDSCAPE. SEE DETAIL #6 / A7.2	23 6'-0" HIGH PERIMETER METAL FENCE
10 6'-0" HIGH CONCRETE MASONRY WALL	24 EXISTING SOLAR PANEL CANOPY
11 LANDSCAPE BY LANDSCAPE ARCHITECT	25 EXISTING SOLAR CANOPY COLUMN (TOTAL OF 8)
12 PROPERTY LINE	26 SITE PAVING, REFER TO CIVIL DWGS.
13 TRASH ENCLOSURE SEE DETAIL #17 / A7.2	27 ACCESSIBLE PARKING STRIPING WITH 'NO PARKING' LEGEND. SEE DETAIL 2/A7.1
14 10'-0" WIDTH CONCRETE PAD IN FRONT OF THE TRASH AREA. SEE DETAIL #17 / A7.2	28 PROVIDE 'VAN ACCESSIBLE' SIGN. SEE DETAIL 2/A7.1

**NOTES**

**PROPOSED SIGNAGE AND SOLAR PANELS**  
ALL PROPOSED SIGNAGE AND SOLAR PANELS WILL REQUIRE A SEPARATE PERMIT AND WILL BE A SEPARATE SUBMITTAL.

- ALL NEW SIGNAGE AND PRESTANDING SIGNAGE SHALL COMPLY WITH TITLE 16 STANDARDS. (DEVELOPMENT CODE SECTION 16-3.22-140 - TABLE 22-4)
- UTILITY EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW VIA LOCATION WITHIN AN ARCHITECTURALLY INTEGRATED STRUCTURE, UTILITY ROOM, OR LANDSCAPING AND PLACEMENT SUFFICIENT TO SCREEN SUCH EQUIPMENT. (INDUSTRIAL DESIGN GUIDELINES, SECTION 16-3.10.069 (6X1))
- UNDER-GROUNDING OF UTILITIES AND STREET IMPROVEMENTS ARE REQUIRED IN CONJUNCTION WITH ANY NEW DEVELOPMENT. (DEVELOPMENT CODE, SECTION 16-6.12.170 & MUNICIPAL CODE, SECTION 9.32.049)

**STATEMENT OF OPERATION**

PROFESSIONAL MANAGEMENT PERSONNEL WILL BE ON SITE DURING REGULAR BUSINESS HOURS. OFFICE HOURS ARE TENTATIVELY SCHEDULED FROM 9:00 A.M. TO 6:00 P.M. MONDAY THROUGH FRIDAY AND 10:00 A.M. TO 4:00 P.M. SATURDAYS AND SUNDAYS. THE SECURITY GATE ACCESS FOR ESTABLISHED SELF STORAGE CUSTOMERS WITH CURRENT ACCOUNT STATUS WILL BE FROM 6:00 A.M. TO 9:00 P.M., 7 DAYS-A-WEEK.

**SEVICES PROPOSED**  
TO PROVIDE SERVICES FOR RV STORAGE. REQUIRED EMPLOYEES TWO STAFF MEMBERS DURING DAY TIMES HOURS, SECURITY SYSTEM WILL BE IN PLACE DURING EVENING HOURS.

**CONSTRUCTION HOUR**  
EXCAVATION AND CONSTRUCTION WORK SHALL OCCUR ONLY BETWEEN THE HOURS OF 6:00 AM. TO 7:00 PM, MONDAY THROUGH FRIDAY, AND BETWEEN THE HOURS OF 9:00 AM TO 6:00 PM ON WEEKENDS AND FEDERALLY OBSERVED HOLIDAYS.